

**ARTICLE 24.00
OFF-STREET PARKING REQUIREMENTS,
LAYOUT, STANDARDS, AND OFF-STREET
LOADING AND UNLOADING**

Section 24.01 SCOPE OF OFF-STREET PARKING REQUIREMENTS

Section 24.01.1 GENERAL APPLICABILITY

In all zoning districts, off-street parking facilities for the parking of self-propelled motor vehicles for the use of occupants, employees, and patrons of newly erected buildings, altered buildings, or extended buildings shall be provided and maintained in accordance with this Article.

Section 24.01.2 CHANGE IN USE

Parking facilities shall be provided in accordance with this Ordinance whenever the existing use of a building, structure or parking lot is changed. Any variance which may have been approved for an existing lot prior to this proposed change will not be applicable.

Section 24.01.3 INCREASE IN FLOOR AREA

When the intensity of use for a structure existing prior to the effective date of this Ordinance is increased by adding more dwelling units, floor area, seating capacity, or other similar means, additional off-street parking shall be provided. The parking facility (existing and additional) shall be brought into compliance with the requirements of this Ordinance.

Section 24.02 EXISTING PARKING FACILITIES

Off-street parking facilities existing at the effective date of this Ordinance which do not meet the requirements of this Ordinance and serve an existing use shall be declared as non-conforming and may continue to be used thereafter provided the size of the off-street parking facility, parking bay, and aisles are not reduced below the requirement of this Ordinance. Modifications in the existing use resulting in change of use or increase of floor area will require modification of the off-street parking facility consistent with this Article.

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Section 24.03 PARKING SPACE VS. LOADING SPACE, STACKING SPACE, AND STORAGE SPACE

Section 24.03.1 Loading space as required in Section 24.08, stacking or drive-through spaces as required in Section 24.07, and parking spaces as required in Section 24.05 shall be considered separate and distinct requirements and as such shall be treated as separate components on the proposed site plan. In no case shall one component be construed as meeting the requirement of one of the other required components.

Section 24.03.2 For the purposes of this Ordinance, parking space is considered to be a distinct and different use from storage space. A parking space shall be a designated area for use by an owner, occupant, employee, or patron of the business, office, industrial, residential, or other use of the property. The parking space is intended to permit said persons to leave their automobile for a temporary period to utilize the facility. A storage space is intended to be used to place or leave an automobile for preservation or later pickup or disposal.

Section 24.04 SITE PLAN APPROVAL - BUILDING PERMIT

A building permit will be required for the construction of any driveway or parking lot constructed of hard surfaced materials as specified in Section 24.06.

Any proposed parking lot shall be shown on a site plan submitted to the Planning Commission for approval. If the proposed parking lot is not part of a development which must receive site plan approval, the owner, developer, etc. must submit a parking development plan to the Building Department, consistent with the requirements of Section 24.06 of this Ordinance.

Section 24.05 GENERAL REQUIREMENTS

In all zoning districts, off-street vehicle parking facilities shall be provided and maintained as herein prescribed.

Section 24.05.1 Parking Location

Section 24.05.1(a) Single Family, Two Family Dwellings

Parking facilities for one- and two-family dwellings shall be located on the same lot or parcel as the dwelling they are intended to serve. Said facilities shall consist of a parking

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strip, parking space, and/or garage. No parking shall be permitted elsewhere on the lot or on abutting public right-of-way except upon a paved street where such parking is otherwise permitted. No parking is permitted on lawns (both private property and right-of-way). Paved or gravel parking areas shall not exceed forty (40%) percent of the total area of the front yard.

Section 24.05.1(b) Other Residential Including Multiple Family

The off-street parking facilities for other residential uses, including multiple family, shall be located on the same lot or parcel as the building they are intended to serve. In the case of multiple family residential and similar uses where there are a number of buildings on one parcel, the required parking shall generally be located within three hundred (300) feet of the building for which the specific parking facility is intended. Parking facilities shall not be closer than twenty (20) feet to any multiple family residential structure.

Section 24.05.1(c) The off-street parking facilities for all other uses shall be located on the same lot, parcel, or site as the building they are intended to serve.

Section 24.05.1(d) Whenever the Township Board establishes off-street parking facilities by means of a special assessment district or other means, or when the Board approves a joint off-street parking facility cooperatively developed by a number of property owners, after recommendation by the Planning Commission, the Board may determine upon completion of said facility that all buildings erected or uses established thereafter within the special assessment district(s) or on properties owned by the cooperating property owners at the time of completion of the facility, shall be exempt from the requirements of this Section for supplying off-street parking facilities on their individual lot, parcel, or site.

Section 24.05.2 PARKING RESTRICTIONS

Section 24.05.2(a) It shall be unlawful for any person, firm, partnership, or corporation to park or store any motor vehicle on private property without the expressed or implied consent of the owner, holder, occupant, lessee, agent, and/or trustee of said property.

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Section 24.05.2(b) It shall be unlawful for any person, firm, partnership, or corporation to park or store any motor vehicle on private or public parking lot with or without the consent of the owner, holder, occupant, lessee, agent, and/or trustee of said parking lot unless said parking lot is in compliance with all the requirements of the Township Zoning Ordinance.

Section 24.05.2(c) It shall be unlawful for any person, firm, partnership, or corporation to park or store any motor vehicle used in the operation of the business on a private or public parking lot with or without the consent of the owner, holder, occupant, lessee, agent, and/or trustee of said parking lot unless said parking location has been reviewed and approved by the Planning Commission.

Section 24.05.3 COLLECTIVE PARKING FACILITIES

Section 24.05.3(a) Nothing in this Section shall be construed to prevent collective provisions of off-street parking facilities for two or more buildings or uses, provided collectively, such facilities shall not be less than the sum of the requirements for the various individual uses computed separately in accordance with the table provided in Section 24.05.12. The Commission may permit a twenty-five (25) percent reduction in the total number of parking spaces required under the above conditions provided a detailed study along with supportive information is submitted showing the demands of the uses occur at different times and an overlap does not occur.

Section 24.05.3(b) Parking spaces already provided to meet off-street parking requirements for theaters, stadiums, auditoriums, stores, office buildings, industrial establishments, and other places of public assembly lying within five hundred (500) feet of a church as measured along the line of public access and that are not normally used between the hours of 6:00 AM and 6:00 PM on Sundays, may be used to meet no more than twenty-five (25) percent of the parking requirements of the church, provided the church can show that the specific requirements of the parking ordinance can be met on site in the future if said parking shall no longer be available to the church.

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Section 24.05.4 USE OF A PARKING LOT RESTRICTED

It is the intent of this Ordinance to clearly indicate that a parking lot facility is designed for the temporary parking of non-commercial motor vehicles. It shall be unlawful for any person, firm, partnership, or corporation to park or store any motor vehicle used in the operation of the business on a private or public parking lot with or without the consent of the owner, holder, occupant, lessee, agent, and/or trustee of said parking lot unless said parking location has been reviewed and approved by the Planning Commission. The storage of merchandise, wrecked or junked cars, inoperable motor vehicles, sale of motor vehicles or other merchandise, or repair of motor vehicles is prohibited. Emergency services required to start or move a motor vehicle are permitted.

Section 24.05.5 PARKING DURATION

Except when land is used as a storage space in direct connection with an approved use such as a repair or service garage, a maximum eighteen (18) hour time limit for parking in a non-residential off-street parking area shall prevail.

Section 24.05.6 FRACTIONAL REQUIREMENTS

When units or measurements determining the number of required parking spaces result in a fractional space, any fraction of up to one-half (1/2) shall be disregarded. Fractions including one-half (1/2) and over shall require one (1) parking space.

Section 24.05.7 BARRIER-FREE PARKING SPACES

Barrier-free parking spaces are required and included as part of the total parking space requirement of Section 24.05.12. A barrier-free parking space shall be a minimum of 96 inches wide (eight feet) and 240 inches (20 feet) long with an access aisle minimum width of 60 inches (five feet) for standard accessible spaces, and 96 inches (eight feet) for van-accessible spaces. Barrier-free parking spaces shall comply with the State of Michigan Department of Labor Building Code including Barrier-Free Design, Michigan Public Act No. 1 of 1966 MCL 125.1351 et seq. as amended, and the adopted Township Building Code. Barrier-free spaces must be in conformance with the following table:

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PARKING SPACES REQUIRED

(BARRIER-FREE SPACES SHALL BE INCLUDED IN TOTAL REQUIRED, NOT IN ADDITION TO)

<u>TOTAL PARKING SPACES IN LOT</u>	<u>MINIMUM NUMBER OF BARRIER-FREE SPACES REQUIRED</u>	<u>VAN ACCESSIBLE SPACES REQUIRED</u>	<u>STANDARD ACCESSIBLE PARKING SPACES REQUIRED</u>
UP TO 25	1	1	0
26 TO 50	2	1	1
51 TO 75	3	1	2
76 TO 100	4	1	3
101 TO 150	5	1	4
151 TO 200	6	1	5
201 TO 300	7	1	6
301 TO 400	8	1	7
401 TO 500	9	2	7
501 to 1000	2% of total	1 of every 8 barrier-free spaces	7 of every 8 barrier-free spaces
Over 1000	20 Plus 1 For Each 100 Over 1000	1 of every 8 barrier-free spaces	7 of every 8 barrier-free spaces

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Section 24.05.7(a) Barrier-free spaces shall be located as close as possible to elevators, ramps, walkways, and entry areas. The accessible route connected to the access aisle shall be a minimum of 36 inches (three feet) wide. Where a curb exists between a parking lot and sidewalk, an inclined curb approach or a curb cut with a gradient of not more than one (1) foot in twelve (12) feet and a width of not less than four (4) feet shall be provided for wheel chair access.

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Section 24.05.8 EXTENSION OF BUILDING INTO EXISTING PARKING LOT

Nothing in this Ordinance shall prevent the extension of or addition to an existing building into an existing parking area provided a new parking lot or area shall be constructed which provides parking in an amount sufficient to meet the requirements of this Ordinance for the new building square footage.

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Section 24.05.9 CONTINUING PARKING OBLIGATION

The schedule of requirements for off-street parking space applicable to newly erected or altered structures shall be a continuing obligation of the owner of the real estate on which any such structure is located so long as the structure is in existence and requires vehicle parking. It shall be unlawful for an owner of any building affected by this Ordinance to discontinue, change, or dispense with, or to cause the discontinuance, sale, or transfer of the structure, without establishing alternative parking space which meets with the requirements of and is in compliance with this Ordinance. It shall also be unlawful for any person, firm, or corporation to use such a building without acquiring land for vehicle parking which meets the requirements of and is in compliance with this Ordinance.

Section 24.05.10 USES NOT MENTIONED

In the case of any building, structure, or premise whose use is not specifically mentioned herein, the Planning Commission shall determine the appropriate parking requirements after review of the data submitted by the applicant and review by the Township Planner.

Section 24.05.11 USABLE FLOOR AREA

For the purpose of applying the requirements of this paragraph, the "Usable Floor Area" shall be eighty (80%) percent of the sum of the gross horizontal floor area of all floors of the building, measured from the exterior faces of exterior walls plus sixty (60%) percent of the gross horizontal floor area of the basement measured from the interior faces of interior walls.

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Section 24.05.12 SCHEDULE OF OFF-STREET PARKING

The amount of required off-street parking space for new uses or buildings, additions thereto, and additions to existing buildings, as specified in previous paragraphs, shall be determined in accordance with the following table. The space so required shall be stated in the application for a building permit and certificate of occupancy and shall be a continuing obligation of the owner.

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<u>USE</u>	<u>REQUIRED NUMBER OF PARKING SPACES PER UNIT OF MEASURES</u>	
Section 24.05.12(a) COMMERCIAL		
Animal hospitals and commercial kennels	ONE (1)	space per 400 square feet of usable floor area <i>plus</i>
	ONE (1)	space per employee based on the greatest number of employees in any one shift
Auto repair shops, bump shops	TWO (2)	spaces per service bay, stall, or service garages station <i>plus</i>
	ONE (1)	space per 800 square feet of usable floor area <i>plus</i>
	ONE (1)	space per employee based on the greatest number of employees in any one shift
Auto sales	ONE (1)	space per 800 square feet of usable floor area exclusive of service area <i>plus</i>
	TWO (2)	spaces per auto service bay, stall, or station in the service area <i>plus</i>
	ONE (1)	space per employee based on greatest number of employees in any one shift <i>plus</i>
	ONE (1)	space per 800 square feet of outdoor sales area
	<i>Note:</i>	All parking required shall be exclusive of that required for vehicles stored for sale

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Beauty parlor and barber shops	TWO (2)	spaces per chair or station <i>plus</i>
	ONE (1)	space per employee based on the greatest number of employees in any one shift
Carnivals, outdoor assemblies, and similar uses	ONE (1)	space per every four attendees based on maximum occupancy <i>plus</i>
	ONE (1)	space per employee based on the greatest number of employees in any one shift
Car wash – automatic	ONE (1)	space per employee based on the greatest number of employees in any one shift <i>plus</i>
	TEN (10)	stacking spaces per one wash stall <i>plus</i>
		A drying line thirty (30) feet long at the exit of each washing stall to prevent undue amounts of water from collecting on the public street and creating a traffic hazard.
Car wash – self service	TWO (2)	stacking spaces per wash stall <i>plus</i>
	TWO (2)	drying spaces per wash stall <i>plus</i>
	ONE (1)	space per employee based on greatest number of employees in any one shift
Drive-in theater	ONE (1)	space per outdoor speaker <i>plus</i>
	ONE (1)	space per employee based on greatest number of employees in any one shift

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Drive-through facilities: Establishments with service windows or similar arrangements for the purpose of serving customers in their vehicles not otherwise noted in this Section	SEVEN (7)	A minimum of seven (7) stacking spaces for each service window unless the applicant can provide information and data that supports a reduction in this number. In no case shall the number be reduced below four (4) stacking spaces for each service window. <i>plus</i> Off-street parking spaces required.
Establishments for sale and consumption on the premises of alcoholic beverages, food, or refreshments	ONE (1)	parking space per two persons allowed within the maximum occupancy load and/or maximum seating capacity as established by local, county, or state fire, building, or health codes <i>plus</i>
	ONE (1)	space per employee based on the number of employees combined in the two largest shifts <i>plus</i> any space dedicated to carry out parking
Furniture and appliance, house- hold equipment repair shops, showroom of plumber, decorator, electrician or similar trade, clothing and shoe repair, wholesale stores and machinery sales	ONE (1)	parking space per 800 square feet usable floor area
	ONE (1)	<i>plus</i> parking space per employee based on the greatest number of employees in any one shift

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Automobile service station with or without convenience retail or fast food	TWO (2) parking spaces per lubrication stall, rack, or pit <i>plus</i>
	ONE (1) parking space per vehicle fueling position <i>plus</i>
	ONE (1) parking space per employee based on greatest number of employees in any one shift <i>plus</i>
	ONE (1) parking space per (350) square feet of usable floor area in any convenience store area <i>plus</i>
	ONE (1) parking space required per each additional accessory use <i>plus</i>
	Requirements for fast food shall be calculated separately.
Laundromats and coin operated dry cleaners	ONE (1) parking space per (1.5) washing and/or dry cleaning machines
Mortuaries or funeral homes	ONE (1) parking space per fifty (50) square feet of floor space in the parlors or individual funeral service rooms
	ONE (1) parking space per funeral vehicle stored on the premises
Motel, hotel, or other commercial lodging establishments	ONE (1) parking space per unit <i>plus</i>
	ONE (1) parking space per employee based on greatest number of employees in any shift <i>plus</i>
	Parking spaces required for accessory uses such as restaurant, bar, banquet facilities or other similar accessory uses.

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Open air businesses	ONE (1)	parking space per (800) square feet of gross lot area used for open air sales or display <i>plus</i> Additional parking space for any structure utilized for retail sales computed in accordance with this Ordinance. <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift
Personal service establishment, not otherwise provided for herein	ONE (1)	parking space per (300) square feet of usable floor area <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift
Restaurant carry-out	ONE (1)	parking space per (80) square feet of gross floor area <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift <i>plus</i> Minimum of 10 parking spaces are required. This does not include a drive-in restaurant.
Restaurant fast food, drive-through	ONE (1)	parking space per fifty (50) square feet of gross floor eating area <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift <i>plus</i>
	SEVEN (7)	stacking spaces per window

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Retail stores except as otherwise specified herein	ONE (1)	parking space per (200) square feet of usable floor area <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift
Roadside stands	SIX (6)	parking spaces per establishment
Shopping centers (For the purpose of this Section, shopping centers shall be defined as a structure or group of structures located on the same zoning lot or parcel which provide a variety of commercial uses and also provide common off-street parking facilities, pedestrian area, and vehicular movement areas.)	ONE (1)	parking space per (200) square feet of usable floor area
Supermarkets, convenience stores	ONE (1)	parking space per 175 square feet of usable floor area <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift
Theaters and auditoriums	ONE (1)	parking space per 3 seats based on maximum seating capacity <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift

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Section 24.05.12(b) **INDUSTRIAL**

Establishments for manufacturing industrial production, processing, assembly, compounding, preparation, serving, testing, repair

FIVE (5) parking spaces
plus

ONE (1) parking space per employee on the largest work shift
or

ONE (1) parking space per (600) square feet of usable floor area whichever is largest

Note: If the applicant can show that the actual work force is less than that required by applying the (600) square feet rule the actual parking provided can be based on historic values as long as the plan illustrates how the larger requirement can be met.

Warehouse and Storage Building

ONE (1) parking space per employee based on the greatest number of employees in any one shift
or

ONE (1) parking space per (1,200) square feet of usable floor area whichever is largest

Note: If the applicant can show that the actual work force is less than that required by applying the (1,200) square feet rule the actual parking provided can be based on historic values as long as the plan illustrates how the larger requirement can be met.

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Section 24.05.12(c) **INSTITUTIONAL/PUBLIC/RECREATIONAL USES**

Archery Facilities	TWO (2)	parking spaces per target
Bowling alleys	FIVE (5)	parking spaces per alley <i>plus</i>
		Requirements for accessory uses
Churches, temples, or auditoriums incidental to schools	ONE (1)	parking space per (3) seats <i>or</i>
	ONE (1)	parking space per (6) feet of bench in main assembly unit based on maximum seating capacity <i>plus</i>
		Circulation system shall include a drop off/pick up area
Child day care, nursery group day care	ONE (1)	parking space per (400) square feet of usable floor area <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift
Convent, nurses' home or other dormitory	ONE (1)	parking space per 2 bedrooms <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift <i>plus</i>
	ONE (1)	parking space for each (5) outpatients
Dance halls, pool or billiard parlors, roller and skating rinks, exhibition halls, and assembly halls without established fixed seats	ONE (1)	parking space per 3 persons allowed within the maximum occupancy load as established by local, county, or state fire, building, or health codes <i>plus</i>

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- ONE (1) parking space per employee based on greatest number of employees in any one shift
or
- ONE (1) parking space per (140) square feet of usable floor area (whichever is greater)
plus
- Circulation system shall include a drop off/pick up area
- Elementary and junior high schools
 - ONE (1) parking space per teacher, employee, and administrator
plus
 - Requirements for auditoriums or assembly halls without fixed seats. If no auditorium or assembly hall is provided, two (2) parking spaces per classroom shall be provided in addition to the above
plus
 - a minimum of (10) drop-off spaces and any necessary loading areas for school buses
- High Schools
 - ONE (1) parking space per teacher, employee and administrator
plus
 - ONE (1) parking space per 4 students
plus
 - Requirements for assembly hall, stadium etc. If no auditorium or assembly hall is provided, 2 parking spaces per classroom shall be provided in addition to the above
plus
 - A minimum of 10 drop off spaces and any necessary loading areas for school buses

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Two Year Junior, Community or Technical School	(0.21)	zero point two one (0.21) parking spaces per school population (shall include students, faculty and staff)
Four Year University or College	(0.30)	zero point three zero (0.30) parking spaces per school population (shall include students, faculty and staff)
Trade Schools	(0.30)	zero point three zero (0.30) parking spaces per school population (shall include students, faculty and staff)
Golf driving range	ONE (1)	parking space per tee <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift <i>plus</i>
Hospitals		Required parking for accessory uses
	(4.75)	4.75 parking spaces per bed
 <u>Libraries, museums, art institutes or similar uses</u>		
Libraries	(1.4)	One point four (1.4) parking spaces per (500) square feet of gross floor space <i>plus</i>
	ONE (1)	parking space per employee based on greatest number of employees in any one shift.

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Museums, Art Institutes or Similar Uses		shall be determined by the Planning Commission based on data presented and requested by the Planning Commission.
Par 3 golf courses, miniature golf	TWO (2)	parking spaces per hole <i>plus</i>
	ONE (1)	parking space per employee based on the greatest number of employees in any one shift <i>plus</i>
		Requirements for accessory uses such as restaurant or bar
Post Office	ONE (1)	parking space per (200) square feet of usable space <i>plus</i>
	ONE (1)	parking space per employee based on the greatest number of employees in any one shift plus sufficient spaces to house the fleet required to service the office
Private clubs and lodge halls	ONE (1)	parking space per 3 persons allowed within the maximum occupancy load established by local, county, or state fire, building, or health codes
Private golf, gun, swimming pool, tennis, or other similar clubs	ONE (1)	parking space per 2 member families or individual members
Public golf course (other than par 3 golf courses)	EIGHT (8)	parking spaces per hole <i>plus</i>

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	ONE (1)	parking space per employee based on the greatest number of employees in any one shift <i>plus</i>
		Requirements for accessory uses
Public Utility	ONE (1)	per employee
Extended care facilities, nursing and convalescent homes, rehabilitation, detention or similar use	ONE (1)	parking space per three (3) beds <i>plus</i>
	ONE(1)	parking space per employee based on the greatest number of employees in any one shift including staff doctor and nurses
	ONE (1)	parking space for each 5 outpatients
Softball, baseball, soccer fields, etc	TWENTY-FIVE (25)	parking spaces per playing field
Stadiums, sport arenas, or similar place of outdoor assembly	ONE (1)	parking space per 3 seats <i>or</i>
	ONE (1)	parking space per six feet of bench
	ONE (1)	parking space per employee based on the greatest number of employees in any one shift
Tennis, racquetball, or similar court	THREE (3)	parking spaces per court <i>plus</i>
	ONE (1)	parking space per employee based on the greatest number of employees in any one shift <i>plus</i>
		Requirement for accessory uses such as restaurants, bar, etc.

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Theaters and auditoriums	ONE (1)	parking space per 3 seats based on maximum capacity
		<i>plus</i>
	ONE (1)	parking space per 2 employees

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Section 24.05.12(d) **OFFICE**

Banks, business offices, offices of lawyers, landscape architects, architects and engineers or other similar uses	ONE (1)	parking space per (220) square feet of usable floor area
		<i>plus</i>
		4 stacking spaces for each drive-up teller
		<i>plus</i>
		3 stacking spaces for each drive-up ATM
Professional offices of doctors and dentists or similar medical offices	ONE (1)	parking space per (20) square feet of floor space in waiting room
		<i>plus</i>
	ONE (1)	parking space per examining room, dental chair etc.
		<i>plus</i>
	ONE (1)	parking space per each employee based on the greatest number of employees in any one shift

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Section 24.05.12(e) **RESIDENTIAL**

Housing for the elderly

Elderly housing-independent	ONE (1)	parking space per unit <i>plus</i>
	ONE (1)	parking space per employee based on the greatest number of employees in any one shift <i>plus</i>
		10% for visitor parking
Elderly housing-assisted living	ONE (1)	Parking space per 4 units <i>plus</i>
	ONE (1)	parking space per employee and regular service provider based on the greatest number of employees and regular service providers in any one shift <i>plus</i>
		10% for visitor parking
Mobile Home Park	TWO (2)	parking spaces per mobile home site <i>plus</i>
	ONE (1)	parking space per each 3 mobile home sites for visitor parking

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Multiple dwelling, terrace
apartment dwellings, efficiency
apartments

TWO (2) parking spaces per dwelling
unit
plus

At least 20% of the spaces required by the
above standards for guest parking. These
additional spaces shall be spaced to be
convenient to each building of the project

plus

Any spaces required for office, clubhouse
or other recreational amenities

One- and two-family dwellings

TWO (2) parking spaces per dwelling
unit.

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**Section 24.06 OFF-STREET PARKING DEVELOPMENT
REGULATIONS**

The construction of any parking lot shall be in accordance with the requirements of the provisions of this Ordinance and this Section and such construction shall be completed and approved by the Building Official and the Township Engineer before actual use of the property as a parking lot and before a certificate of occupancy is issued for the building the parking is intended to serve. Plans for the development of any parking lot must be submitted to the Building Official, in compliance with the engineering Design Standards Ordinance and indicating existing and proposed grades, drainage, water mains and sewers, surfacing and base materials to be used and the layout of the proposed parking lot in accordance with Township site plan requirements. The plans are to be prepared in a presentable form by a registered civil engineer and shall reflect conformance with the following provisions.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.06.1. All off-street parking lots providing space for more than four (4) vehicles located in a Business, Commercial, or Multi-Family development shall comply with the following development regulations prior to the issuance of any Certificate of Occupancy, except as specifically stated otherwise herein;

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Section 24.06.1(a) Plans for the development of any parking lot shall be submitted as part of the site plan to the Township Building Official and must be approved by said Building Official prior to the start of construction. The plans and construction must be in accordance with the Engineering Design Standards Ordinance. The construction of the entire parking lot shall be completed to the satisfaction of the Building Official before a Certificate of Occupancy may be issued. In the event that due to inclement or cold weather conditions said parking lot cannot be paved or constructed, a six (6) month temporary certificate of occupancy can be issued by the Building Official provided a cash deposit or irrevocable letter of credit is deposited with the Township Treasurer equivalent to one hundred and ten percent (110%) of the cost of construction of the parking lot, as determined by the Building Official. The cash deposit or irrevocable letter of credit shall be forfeited if said parking lot is not fully completed within said six (6) month period.

The cash deposit or irrevocable letter of credit shall be accompanied by a fully executed contract prepared and reviewed by the Township Attorney. The contract shall clearly indicate that the forfeiture is to pay for the completion of the pavement of the parking lot and the agreement shall grant the Township and its agents the right to enter the property and complete the pavement of the parking lot.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.06.1(b) Adequate but reasonably limited points or means of ingress and egress shall be provided and shown in the plan submitted. All such egress/ingress points shall be designed and developed consistent with the engineering standards of the Township and the agency having jurisdiction for said egress/ingress i.e. M.D.O.T., Monroe County Road Commission.

Section 24.06.1(c) Such parking lots shall be consistent with the requirements of the Township Engineering Design Standards Ordinance. No surface water shall be allowed to drain onto adjoining properties.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

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Section 24.06.1(d) Curbing or other means approved by the Planning Commission must be provided and maintained throughout the parking lot to assist in defining circulation patterns, separate paving areas from landscape areas, provide protection for the public, and provide protection for adjoining properties, streets, and sidewalks.

Section 24.06.1(e) Landscaping and buffering shall be provided for all parking lots as required by Section 26.11.3 of this Ordinance.

Section 24.06.1(f) Entrance to parking areas shall be only from the principal use being served or adjoining right-of-way, unless otherwise approved by the Planning Commission.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.06.1(g) All illumination for or on such parking lots shall be hidden source, full cut off lighting fixtures and shall be designed and located to project away from off site areas and shall be installed in such a manner as to allow the reduction of the amount of light after normal parking hours each day. All light fixtures shall be mounted in a permanently fixed position so as to avoid adjustment of the fixtures to negate the benefits of the hidden source, full cut off fixture.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.06.1(h) Plans for the layout of the parking spaces and aisles shall be in accordance with the following **minimum** regulations.

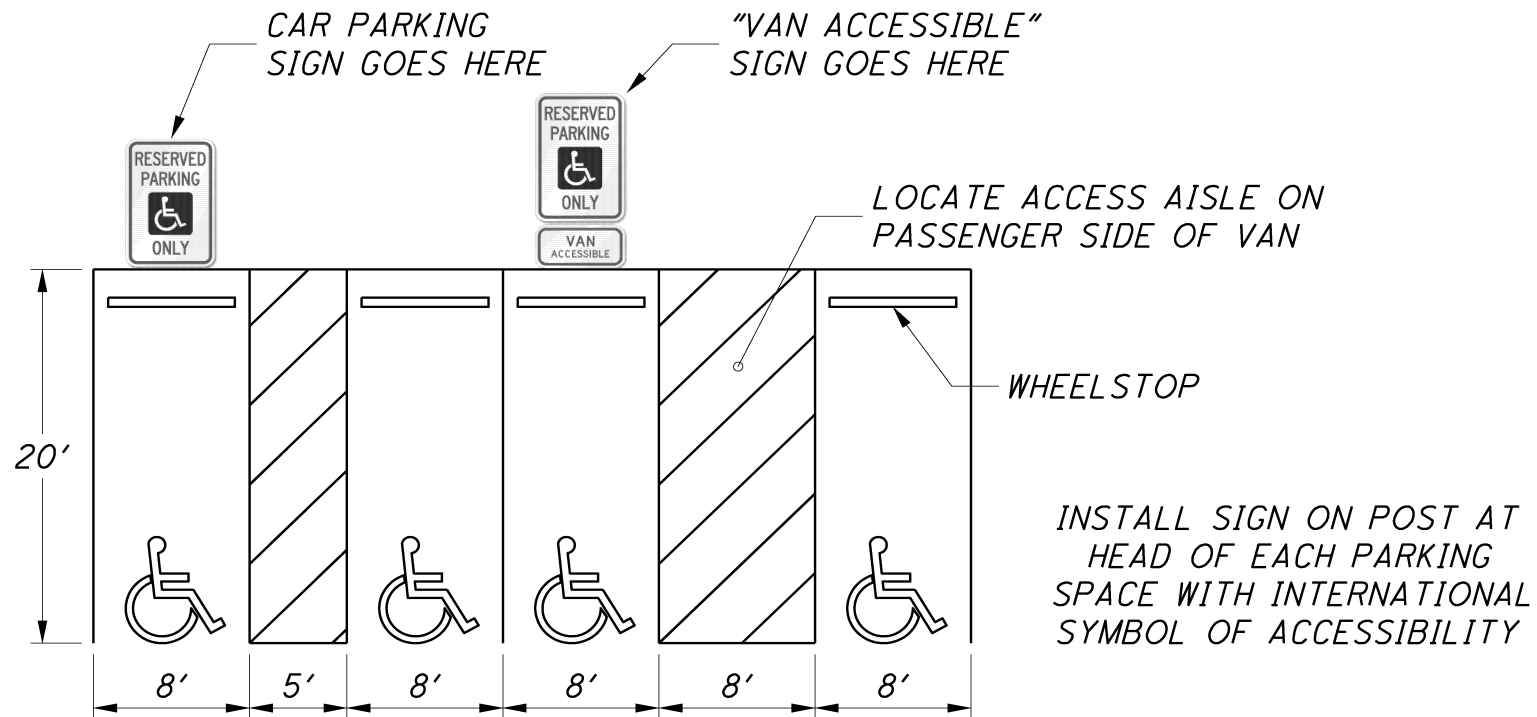
Dimension (in feet)	Stall Angle			
	45°	60°	75°	90°
A. Stall Depth to Wall	20.9	22.1	21.8	20
B. Stall Depth Parallel to Vehicle	20	20	20	20
C. Aisle Width	14	18	22	24
D. Stall Depth to Interlock	17.5	19.7	20.5	20
E. Stall Depth Reduction Due to Interlock	3.4	2.4	1.2	0
F. Stall Width (Parallel to Aisle)	13.4	11	9.8	9.5
G. Stall Width Perpendicular to Vehicle	9.5	9.5	9.5	9.5
H. Module Width Wall to Wall	55.7	62.1	65.6	64
I. Module Width Interlock to Interlock	49	57.4	63.1	64

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Table Notes:

- (1) For bumper overhang deduct 1.5 feet from stall depth to wall or 3 feet from wall to wall for 45° and 60° parking. Deduct 2 feet from stall depth to wall or 4 feet from wall to wall for 75° and 90° parking.
- (2) Where natural and/or man-made obstacles, obstructions or other features, such as but not limited to landscaping, support columns or grade differences exist, the Township Engineer may approve a reduction in stall width, stall length and/or module width. In all instances where a reduction is requested, attention to emergency vehicle access must be considered and incorporated into the parking lot design.

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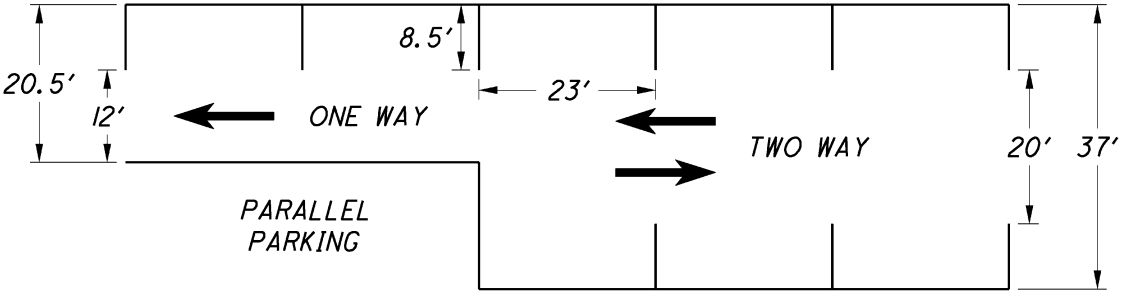
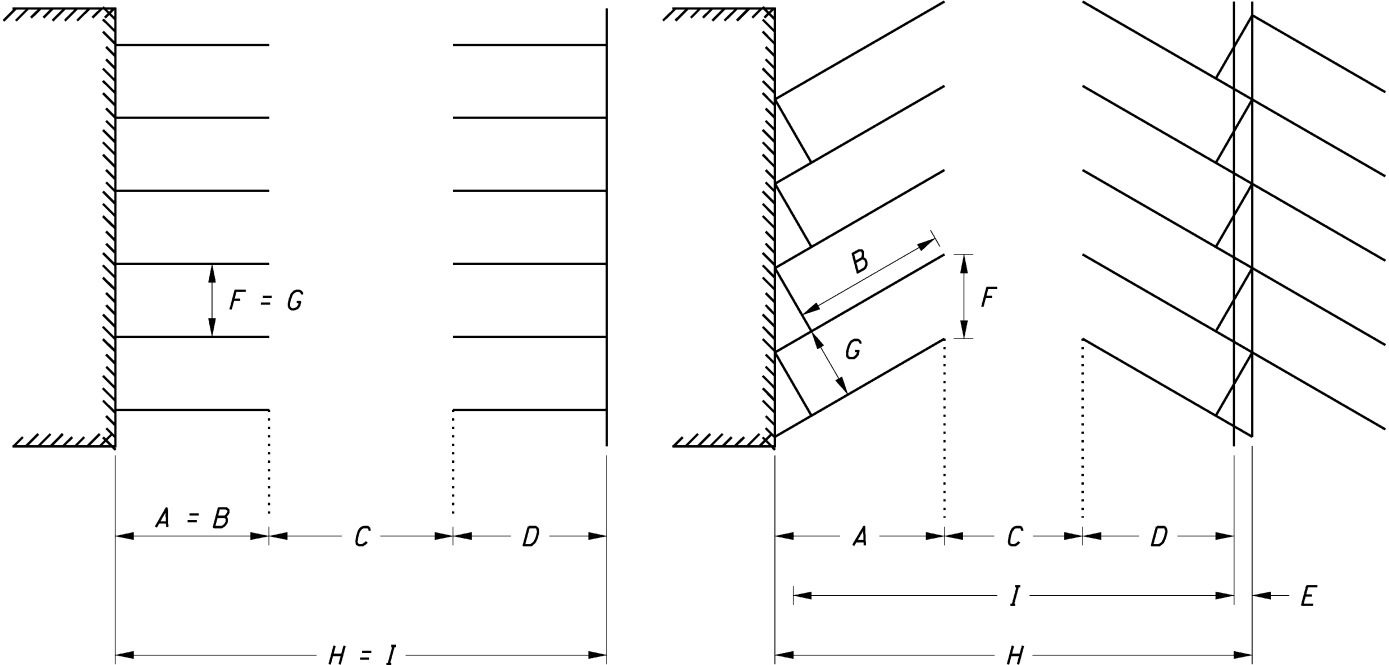
CAR PARKING SPACE: 8' WIDE WITH 5' WIDE ACCESS AISLE

VAN PARKING SPACE: 8' WIDE WITH 8' WIDE ACCESS AISLE

ADJACENT SPACES MAY SHARE ONE ACCESS AISLE

ACCESS AISLE FOR ANGLED VAN SPACES SHALL BE ON PASSENGER SIDE OF PARKING SPACE

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Section 24.06.1(i) The minimum parking space dimension for any development not provided for in the preceding paragraph shall be : (1) 9.5 feet in width, (2) 20.0 feet in length, and (3) 190 square feet in area.

Section 24.06.1(j) While full compliance with all of the above requirements is obligatory prior to the issuance of a Certificate of Occupancy, the Building Official may grant a waiver of certain requirements for a period not to exceed six (6) months if a cash deposit or irrevocable letter of credit is deposited with the Township Treasurer equivalent one hundred and ten percent (110%) as determined by the Building Official, which deposit shall be forfeited (mandatory) if said parking lot is not fully completed within said six (6) month period.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.06.1(k) All parking facilities and business establishments shall keep the exterior lot and parking areas free of paper, flying debris, equipment, merchandise and other items and products.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.06.1(l) All parking lots shall be striped and maintained showing the individual parking bays. Said strips shall conform with the minimum layout requirement as required in this Section and as designated on the approved plan.

Section 24.07 OFF-STREET WAITING AREA FOR DRIVE-THROUGH FACILITIES

Section 24.07.1 An off-street waiting space is defined as an area ten (10) feet wide by twenty (20) feet long and shall not include the use of any public space, street, alley, parking aisle or access area, or sidewalk.

Section 24.07.2 When a business or other establishment proposes a drive - through window or similar arrangement for the purpose of serving customers in their automobiles by means of a service window where the automobile engine is not turned off, there shall be

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provided a minimum of seven (7) waiting spaces for each service window, unless the applicant can provide information and data that supports a reduction in this number. In no case shall the number be reduced below (4) waiting spaces for each service window.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.08 OFF-STREET LOADING REQUIREMENTS

Section 24.08.1 Loading spaces shall be located on-site and shall not interfere with public use of the streets, alleys, or any required access aisles for off-street parking areas.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.08.2 Loading and unloading space, unless consistent with the requirements of Section 24.08.3, shall be an area ten (10) feet by fifty (50) feet, with fifteen (15) foot height clearance, having paving suitable for the zoning district wherein located, and shall be provided according to the following schedule:

Gross Floor Area Square Feet	Loading and Unloading Spaces Required in Terms in of Square Feet of Gross Floor Area
0 - 2,000	None
2,000 - 20,000	One space
20,000 - 100,000	One space plus one space for each 20,000 square feet in excess of 20,000 square feet.
100,000 - 500,000	Five spaces plus one space for each 40,000 square feet in excess of 100,000 square feet.
Over 500,000	Fifteen spaces plus one space for each 80,000 square feet in excess of 500,000 square feet.

Section 24.08.3 The Planning Commission may modify or waive the requirement for off-street loading areas upon determining that adequate loading space is available to serve the building or use, or that provision of such loading space is unnecessary or impractical to provide. For example if the business can indicate and substantiate that the nature

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of the business hours and the control of the deliveries will facilitate said deliveries during closed hours thus eliminating the need for additional space on the site. If at any time during the operation the approved method is violated the Building Official shall notify the applicant / owner / operator and the Planning Commission that the owner / operator is in violation of the approved plan and the Planning Commission shall immediately establish a public hearing to consider the revocation of the site plan approval.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.

Section 24.08.4 The location of loading and unloading areas shall be reviewed at the time of site plan submission to insure adequate protection is afforded adjacent districts and properties, in particular, residential districts and uses from noise and other disruptive elements normally associated with such facilities.

Amended August 27, 2013 by Zoning Ordinance Amendment No. 200-110.